



# Planning and Development Review Department

P.O. Box 1088, Austin, Texas 78767

One Texas Center, 505 Barton Springs Road

Telephone: (512) 974-6370 Fax: (512) 974-2423

## Site Development Exemption Request

Site Address: 1701 Toomey Rd DA-2011-0328

Project Name: 1701 Toomey Rd

Legal Description: TRT 1 Shelton Wm Subd

Zoning: LI Watershed: \_\_\_\_\_ Flood Plain?  Yes  No

Existing Land Use(s): Private Primary/Secondary Education Facility

Proposed Land Use(s): Same

Brief/General Description of the Development being sought:  
Interior remodel to existing class room. Create cooking area for educational training.

Attach a detailed description of the proposed development in a memorandum or letter and a site plat or survey plan that graphically indicates, but is not limited to,:

- |                                                                                                |                                                                                      |
|------------------------------------------------------------------------------------------------|--------------------------------------------------------------------------------------|
| <input checked="" type="checkbox"/> existing trees                                             | <input checked="" type="checkbox"/> limits of construction                           |
| <input checked="" type="checkbox"/> buildings                                                  | <input checked="" type="checkbox"/> type of construction                             |
| <input checked="" type="checkbox"/> parking areas                                              | <input checked="" type="checkbox"/> location of construction                         |
| <input checked="" type="checkbox"/> roadways/streets                                           | <input checked="" type="checkbox"/> accessible parking                               |
| <input checked="" type="checkbox"/> all areas of impervious cover levels (existing & proposed) | <input checked="" type="checkbox"/> access route                                     |
| <input checked="" type="checkbox"/> erosion controls (i.e.: silt fencing, tree protection)     | <input checked="" type="checkbox"/> on-site sewage (septic) systems and drain fields |

I, NASH GONZALES, AGENT, do hereby certify that I am the  
(PRINT NAME)

owner  owner's agent (to act as the owner's agent, written authorization from the owner must be provided) of this described property, and in this capacity, submit this request for exemption from the site plan submittal requirements pursuant to Chapter 25-5-2 of the Austin City Code.

Furthermore, I certify and acknowledge that:

- Although the proposed development does not require a formal site plan approval, it may require, prior to beginning any site work, the approval of the subdivision or issuance of a building, remodel, and/or demolition permit;
- Although the proposed development complies with all applicable zoning regulations, it does not prohibit enforcement of restrictive covenants and/or deed restrictions;
- The approval of this exemption request does not constitute authorization to violate any provisions of the Austin City Code or other applicable requirements, which includes the use or occupancy of the improvement.
- The approval notice with paid receipt shall be clearly posted on-site and protected from the elements at all times.

Nash Gonzales Signature of Requester Date: 4-4-11

Address: P.O. Box 9007, AUSTIN TX 78766  
Telephone: (512) 658-8896

Please indicate how you wish to receive a copy of the results of the review:  
 FAX: \_\_\_\_\_  E-mail Address: Please provide e-mail address on other side of form

### Departmental Use Only

Project Name: <b>1701 Toomey Rd</b>		Case Number: <b>N/A-2011-0328</b>		Applicant Name: <b>Yash Gonzalez</b>	
<input checked="" type="checkbox"/> If Required	Reviewer	Date	Comments		
<input type="checkbox"/> Site Plan	<b>AGM</b>	<b>4-15-11</b>	<input type="checkbox"/> SPOC*		
① Sign off on any <del>future</del> exemptions <del>which</del> will have to occur after the transportation site plan currently under review is approved					
<input checked="" type="checkbox"/> Transport	<b>AAW</b>	<b>4-15-11</b>	<input type="checkbox"/> SPOC*		
<b>XXXXXXXX</b>					
<input type="checkbox"/> Drainage			<input type="checkbox"/> SPOC*		
<input type="checkbox"/> Environ			<input type="checkbox"/> SPOC*		
<input checked="" type="checkbox"/> AFD	<b>WR</b>	<b>4/15</b>			
<b>N/A</b>					
<input checked="" type="checkbox"/> AWU	<b>MDL</b>	<b>4-15-2011</b>			
<b>N/A</b>					
<input checked="" type="checkbox"/> Plumbing	<b>MDL</b>	<b>4-15-2011</b>			
<b>N/A</b>					
<input checked="" type="checkbox"/> AE		<b>4-15-11</b>			
<b>N/A</b>					

• SPOC – Single Point of Contact

<input type="checkbox"/> Approved	<input type="checkbox"/> Denied	<input type="checkbox"/> Determined to be a <input type="radio"/> Revision <input type="radio"/> New Project
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Building permit required?  Yes  No  N/A  
 Smart Housing Project?  Yes  No

Qualifies for exemption per Section 25-5-2(\_\_\_\_)

**Check all that apply:**

- Review Fee(s) Not Required
- Site Plan Correction/ Exemption Review Fee
- Change of Use Review Fee
- Phasing Review: \_\_\_\_\_ phases
- Landscape Inspection: \_\_\_\_\_ acres
- Shared Parking Review



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Telephone: (512) 974-6370 Fax: (512) 974-2423

### Determination of a Site Development Exemption Request

Date: 4/18/2011

Number of pages including cover: 1

From: Sallie Correa @ (512) 974-9747 or Andria Burt @ (512) 974-2774

To: Nash Gonzales

Telephone: 658-8896

FAX:

E-Mail:

Exemption #: DA-2011-0328

Project Name: 1701 Toomey Road

Address: 1701 Toomey Road

Review Staff Contact/Telephone:

Review Results	
<b>Your request has been Denied.</b>	
See NOTES for additional information and/or conditions. Your paperwork is in the RETURN BIN area of the Development Assistance Center on the 1st floor of One Texas Center.	
Fees Due	Cost
Site Plan Correction Review	
Landscape Inspection:	
Shared Parking Review	
Phasing Review:	
Change of Use Review	
Commercial Exemption Review	
<b>TOTAL COST:</b>	

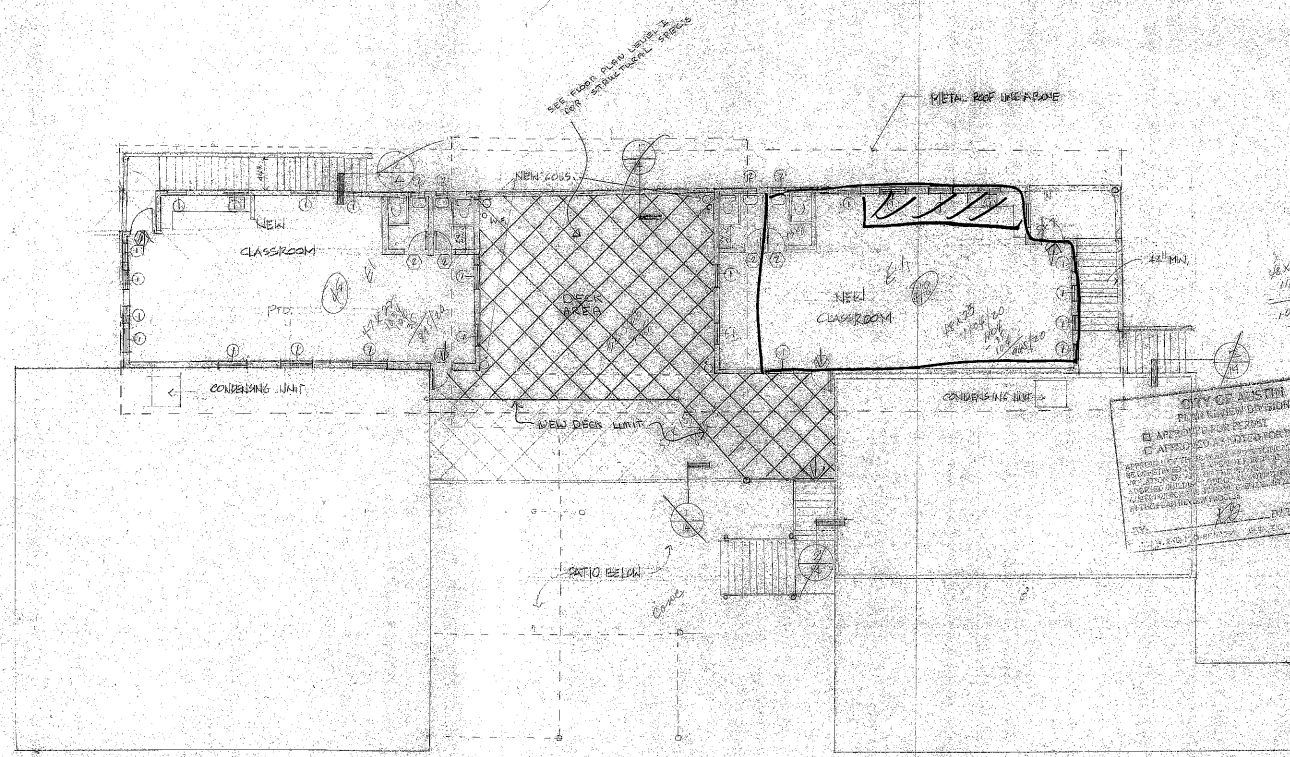
#### NOTES:

- Sign off on any exemptions will have to occur after the transportation site plan currently under review is approved.

Amber Mitchell 974-3428

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DOOR SCHEDULE					
Door #	Type	Size	Thickness	Hardware	Comments
1	Exterior	3'0" x 6'8"	1 1/4"	Panic Bars	DBI-insulated safety
2	Bathroom	3'0" x 4'8"	1 3/4"	Privacy Locks	W.L. Solid core



CITY OF ASTORIA  
 PLANNING DIVISION  
 11 APR 2015 10:28 AM  
 1164  
 107 7

1164  
 107 7  
 3665 4

COPY OF CITY  
 PLANNING ORIGINAL  
**BURKS**  
 Reprographics

ALL WINDOWS  
 DOUBLE INSULATED GLASS  
 ALL DOORS ARE EQUIPPED  
 WITH PANIC HARDWARE

1/8" = 1'-0"

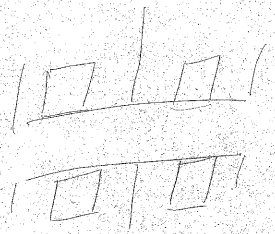
**FLOOR PLAN  
 LEVEL 2**

DOOR SCHEDULE

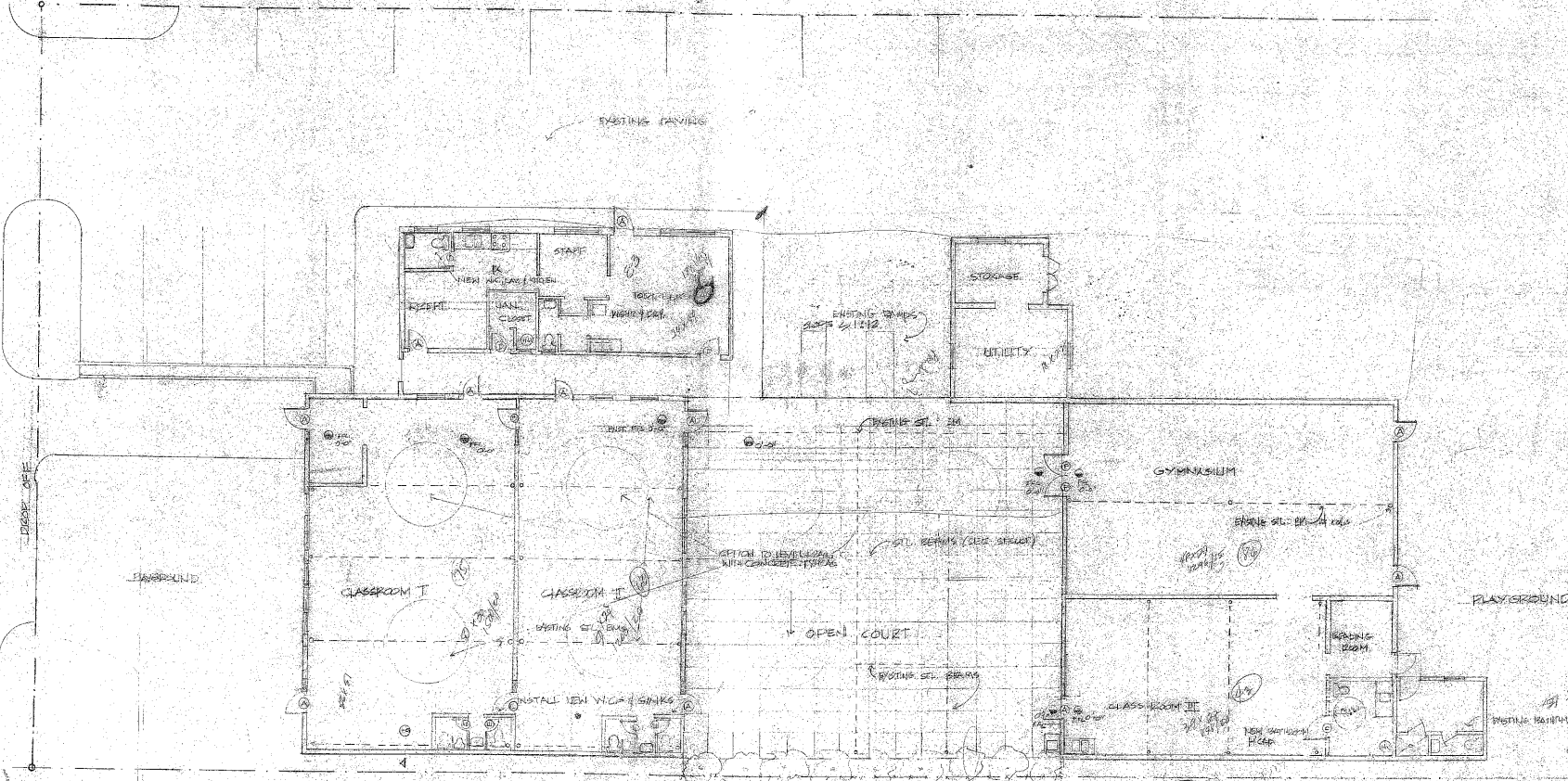
DOOR #	TYPE	SIZE	THICKNESS	HARDWARE	COMMENTS
A	30" x 80"	1 3/4"			DR. INTR. SHEET
B	30" x 80"	1 3/4"			NO. DITCH
C	30" x 80"	1 3/4"			NO. SOLID CUR.
D	30" x 60"	1 3/4"			METAL CLAIR
E	30" x 80"	1 1/2"			METAL
F	30" x 80"	1 3/4"			GLASS/PREICE

WINDOW SCHEDULE

Ident.	Description	Bill No.	Dimensions	Qty.
1	double hung/double pane	2-01	2'-8 1/4" x 6'-0"	5
2		4-01	58" x 36"	2
3		7-01	28" x 28"	2
4	fixed/algate pane	4-02	16" x 20"	2
5	sliding/double pane	4-03	3'-0" x 4'-0"	1
6	double hung/double pane	2-02	2'-0" x 3'-0"	1
7	double hung/double pane	4-04	3'-0" x 2'-0"	1



TOOMEY Rd

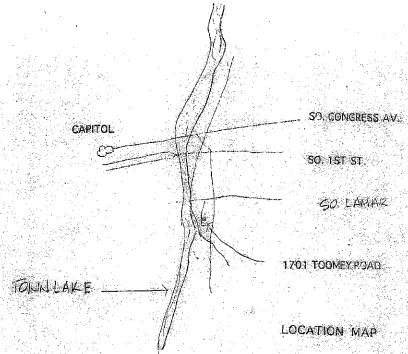


EXISTING FLOOR PLAN

SCALE 1/8" = 1'-0"

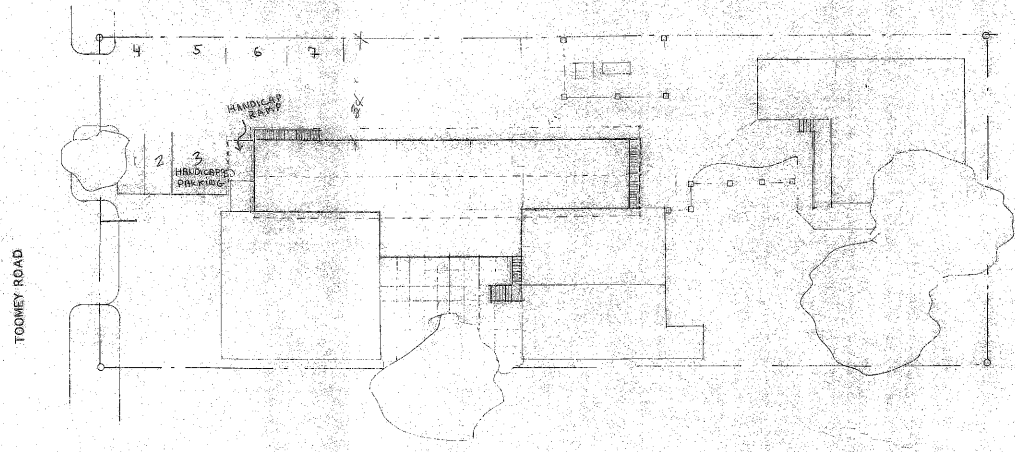
COPY OF CITY  
PLANNING ORIGINAL  
**BURKS**  
ENGINEERS

2520  
156  
1176  
2856  
24288  
5088  
1122  
7:134



LEGAL DESCRIPTION

TRACT 1, WILLIAM E. SHELTON SUBDIVISION  
AUSTIN, TRAVIS COUNTY, TEXAS



ADDITION TO PARKSIDE COMMUNITY SCHOOL

1701 TOOMEY ROAD



SITE PLAN

SCALE 1"=20'-0"

DEVELOPMENT

IMPERVIOUS COVER = 0 SF

NEW CONDITIONED SPACE = 2194 SF

COPY OF CITY  
PLANNING ORIGINAL  
**BURKS**  
URBAN  
REPROGRAPHICS